

OVERVIEW

Construct 5 attached rowhouses. Parking provided in lower level garages accessed from rear of site. Units step back at each floor on rear facade. Terraced garden space and raised stoop/porch at sidewalk. Private terrace for each unit above each garage.

TYP. UNIT	Garage	384 sf (partially sub-grade, count at 50% towards FAR)
	1st floor	680 sf
	2nd floor	580 sf
	3rd floor	340 sf
	TOTAL	1,984 sf (1,794 sf for FAR calculation)

5 UNITS @ 1,794 = 8,970 sf /
LOT SIZE 7,475 sf = 1.2 FAR

OPPORTUNITIES

All units attached allows setback to single-family zone to north side to be maximized by placing shared driveway along north property line.

Greater street presence of longer facade along 40th Ave. NE integrates well with commercial/institutional properties across the street.

"Terrace" housing type allows natural grade change of the site to provide sufficient height for enclosed garages with minimal excavation, while also enhancing the semi-public/semi-private character of front porches.

Enclosed garages decrease impact on adjacent properties.

Structured parking allows mass of unit to "double up" with automobile space, which allows a number of design enhancements to be included while maintaining adequate drive-aisle and turnaround space:

- buildings can be set back further from the sidewalk than the minimum required setback
- there is sufficient room to include a generous elevated porch to activate the public side of the house.
- in addition, there is enough room for a modest front garden space
- allows for a shallow planted buffer at rear property line

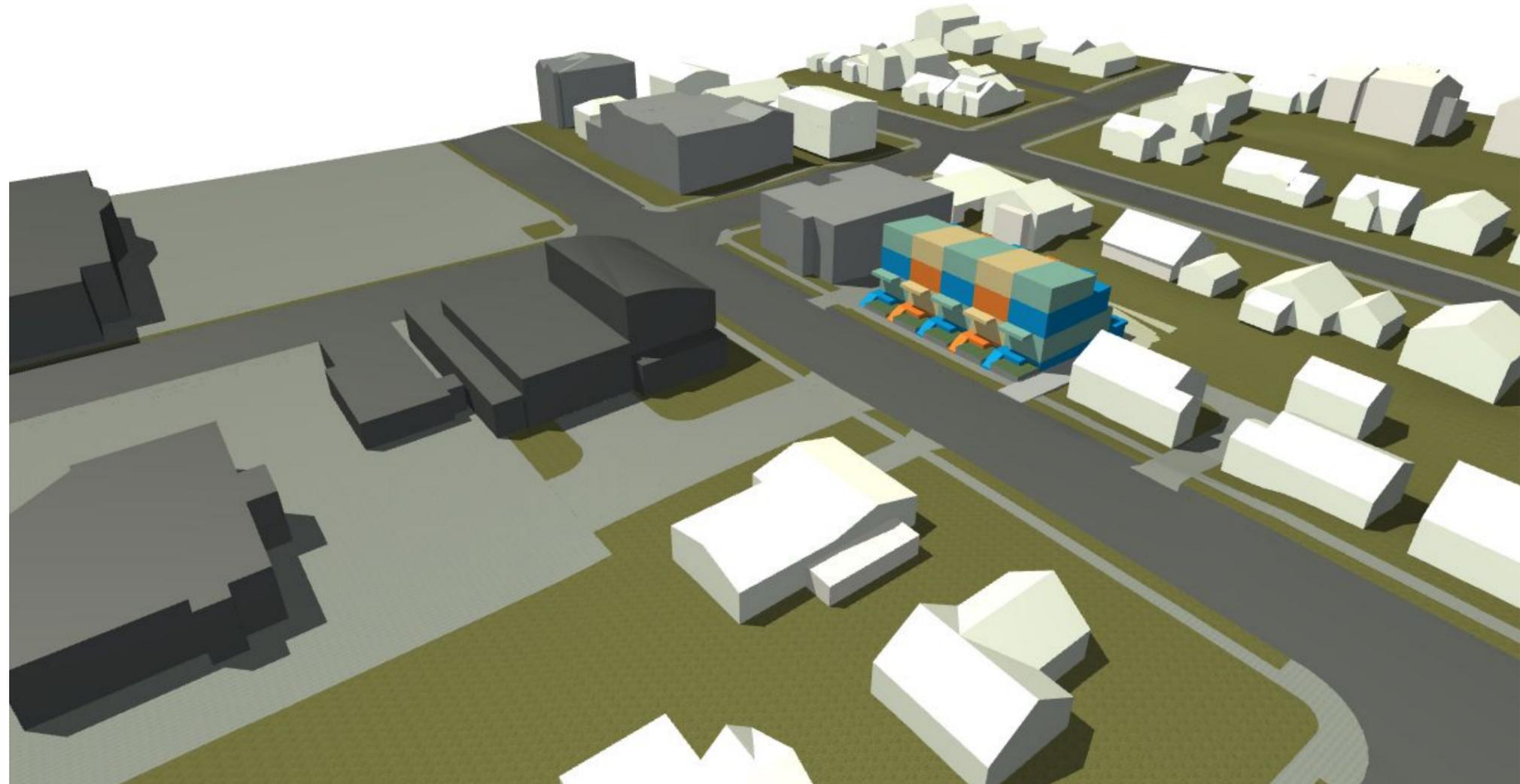
Furthermore, added footprint flexibility allows a stepped building profile to reduce apparent bulk from rear. (Compare to surface parking option where essentially 100% of buildable footprint is required at all levels to meet FAR target)

Roof of garage space provides private exterior space at the main living level for all units.

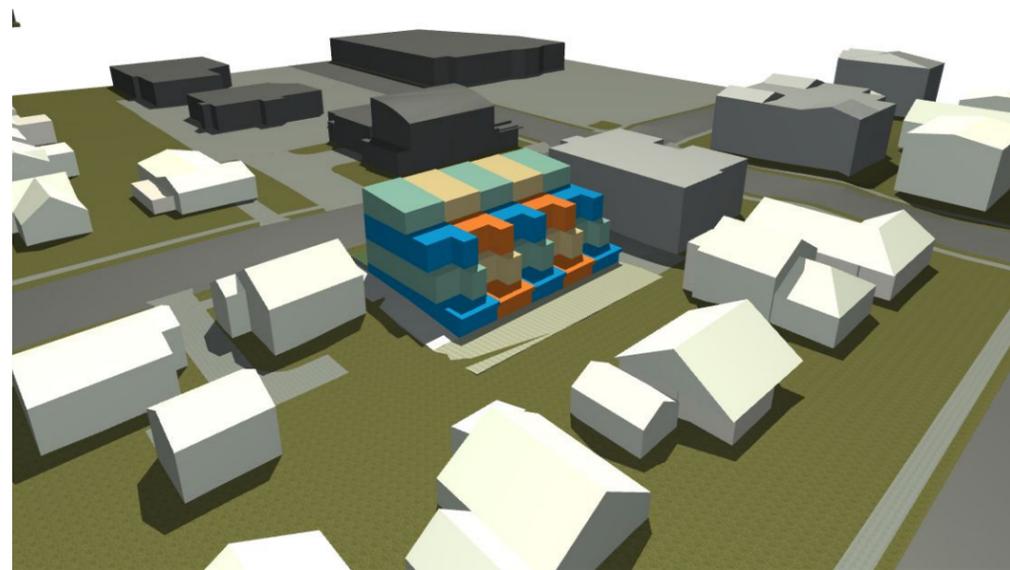
CHALLENGES

Requires a Departure to allow a facade length greater than 40' within 15' of a SF zone. Departure only required to apply to the lowest (garage) level, which is partially below grade. The main floor and all upper floors would comply with the 40' limit.

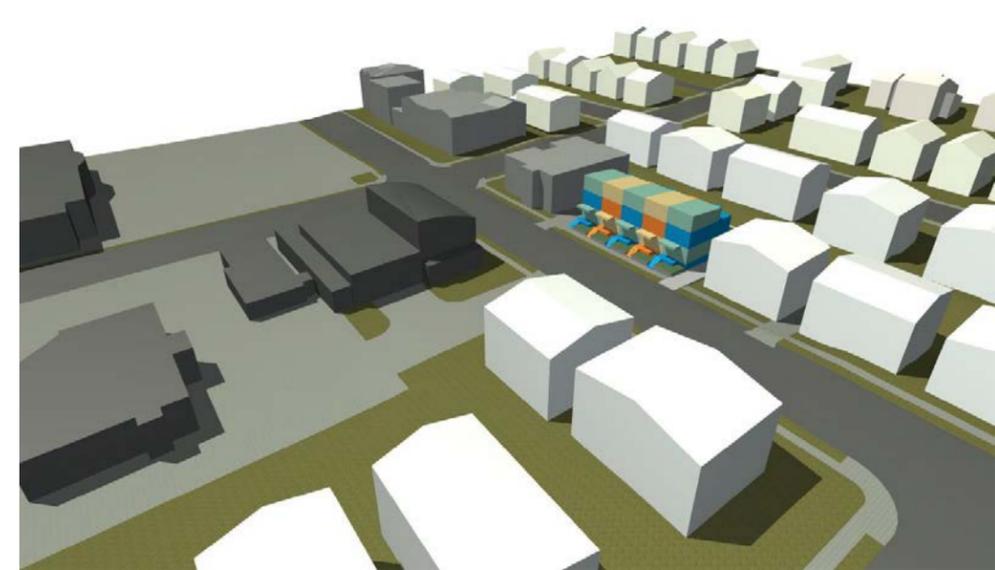
Somewhat larger bulk of attached units, while integrating well with commercial buildings in adjacent NC-30 zone, is greater than existing adjacent houses. Note, however, that existing SF residences are substantially smaller than what is permitted under current zoning.



front view from northeast



rear view (from northwest)



surrounding properties at maximum massing under current zoning